

PROPOSED RESIDENCE

BLOCK AREA	654m ²
BASEMENT GARAGE AREA	121.62m ²
BASEMENT SUB-FLOOR AREA	120.02m ²
GROUND RESIDENCE AREA	209.48m ²
UPPER RESIDENCE AREA	93.62m ²
ALFRESCO AREA	54.38m ²
GFA	303.10m ²
TOTAL DEVELOPMENT	599.12m ²
PLOT RATIO	46%
SITE COVERAGE	264.13m ² 40%

POS REQUIRED	654 X 60%
POS REQUIRED	392.4M ²
POS REQUIRED >6M	65.4M ²
PPOS REQUIRED >6M	36M ²
PLANTING AREA	196.2M ² WITH MIN. 2.5m DIM.
TREE PLANTING: BY OWNER	
LARGE SIZED BLOCKS <800M ² -	1 SMALL AND 1 MEDIUM TREE
MATURE HEIGHT -	5m TO 8m AND 8m TO 12m
MIN. CANOPY DIA. -	4m AND 6m
MIN. SOIL AREA -	3m AND 5m
MIN. POT SIZE -	45L AND 75L
MIN. SOIL VOL. -	18m ³ AND 42m ³

NOTE:

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.

NO WHITE OR OFF WHITE METAL ROOF SHEETING AND METAL WALL CLADDING.

LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA.

WATER HEATER IN A HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA.

A MINIMUM OF THE 50% OF THE POS IS TO BE RETAINED AS PLANTED AREA.

WATER TANK CONNECTION - 50% OR 100m² OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK THE TANK IS CONNECTED TO AT LEAST A TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS.

RETAINING WALLS BETWEEN THE FRONT BOUNDARY AND BUILDING LINE NOT TO BE HIGHER THAN 400mm ABOVE NATURAL GROUND LEVEL WITHOUT DEVELOPMENT APPROVAL BY ACTPLA.

- POOL SAFETY BARRIER NOTES:
- ALL POOL SAFETY BARRIERS TO BE AS PER AS1926.1
- 2.2 NON-CLIMBABLE ZONE (NCZ)
- 2.3 BARRIERS
- 2.4 GATES, GATE UNITS AND LATCH FITTINGS
- 2.5 OTHER BARRIERS
- 2.6 CHILD-RESISTANT OPERABLE PORTION OF WINDOW
- 2.7 CHILD-RESISTANT DOOR SETS
- 2.8 BALCONY BALUSTRADES
- 2.9 ABOVE GROUND POOLS
- 3.1 STRENGTH AND RIGIDITY OF OPENINGS
- 3.2 STRENGTH OF POSTS AND FOOTINGS
- 3.3 STRENGTH OF BARRIER COMPONENTS
- 3.4 CLOSING AND LATCHING OF GATES
- 3.5 STRENGTH AND RIGIDITY OF A GATE UNIT
- 3.6 DURABILITY OF A GATE UNIT

NOTE - IT IS THE CLIENT/OWNERS, BUILDER AND CONTRACTORS OBLIGATION TO READ THROUGH THE FULL SET OF PLANS PROVIDED THOROUGHLY PRIOR TO ANY CONSTRUCTION OR WORKS.

BUILDER/CONTRACTORS TO CONFIRM DIMENSIONS ONSITE PRIOR TO COMMENCEMENT OF WORKS.

NOTE: ALL WORK TO BE DONE IN ACCORDANCE WITH THE NCC, AUS. STANDARDS, SDHDC ACT AND LIVABLE HOUSING DESIGN STANDARD 2022

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PROPOSED RESIDENCE //

SHEET TITLE // SITE PLAN

BLOCK // 16

SECTION // 21

SUBURB // DEAKIN

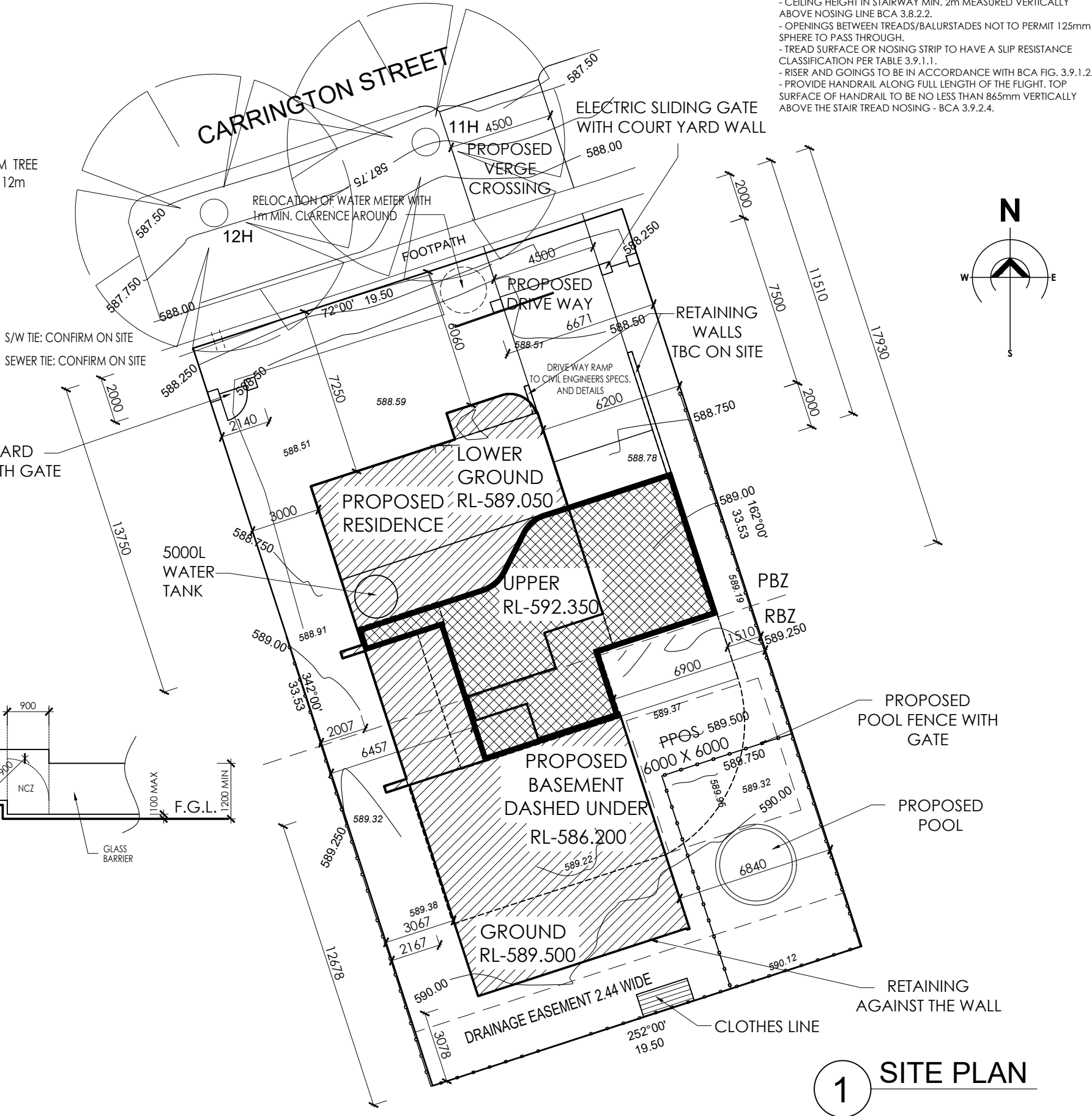
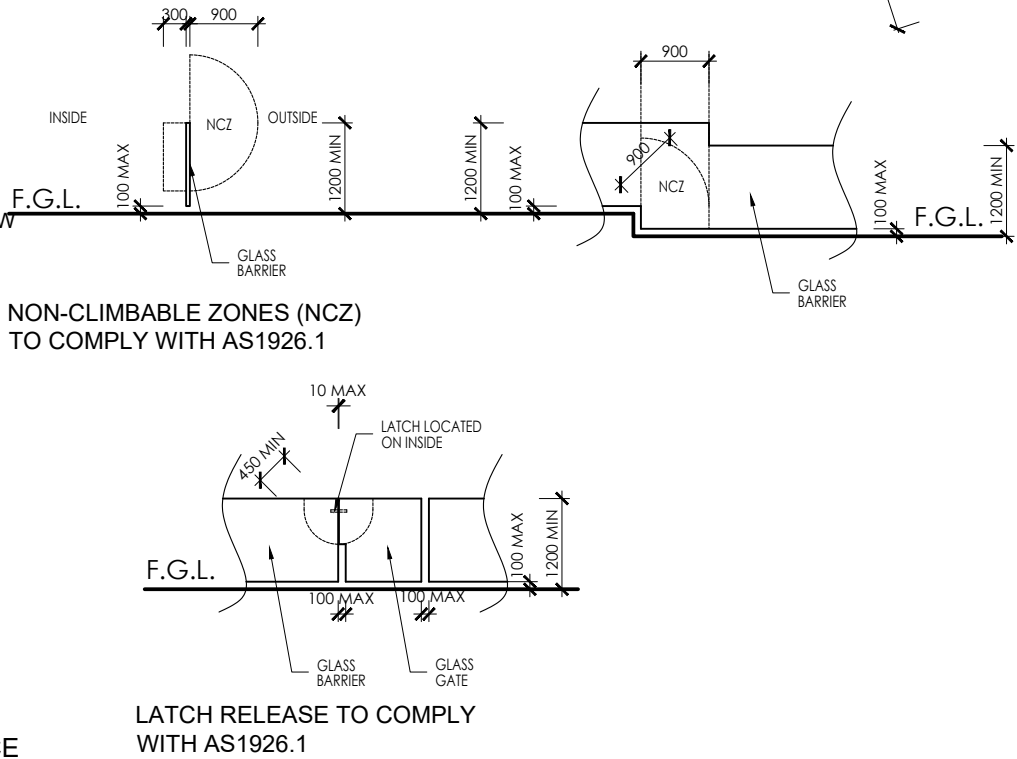
CLIENT // BRUCIC

SCALE // 1:200 @ A3

DATE // 15 AUG 2023

REVISION // D

DWG No // A01



STAIR CONSTRUCTION TO BCA 3.9.1 -

- CEILING HEIGHT IN STAIRWAY MIN. 2m MEASURED VERTICALLY ABOVE NOSING LINE BCA 3.8.2.2.
- OPENINGS BETWEEN TREADS/BALURSTADES NOT TO PERMIT 125mm SPHERE TO PASS THROUGH.
- TREAD SURFACE OR NOSING STRIP TO HAVE A SLIP RESISTANCE CLASSIFICATION PER TABLE 3.9.1.1.
- RISER AND GOINGS TO BE IN ACCORDANCE WITH BCA FIG. 3.9.1.2.
- PROVIDE HANDRAIL ALONG FULL LENGTH OF THE FLIGHT. TOP SURFACE OF HANDRAIL TO BE NO LESS THAN 865mm VERTICALLY ABOVE THE STAIR TREAD NOSING - BCA 3.9.2.4.